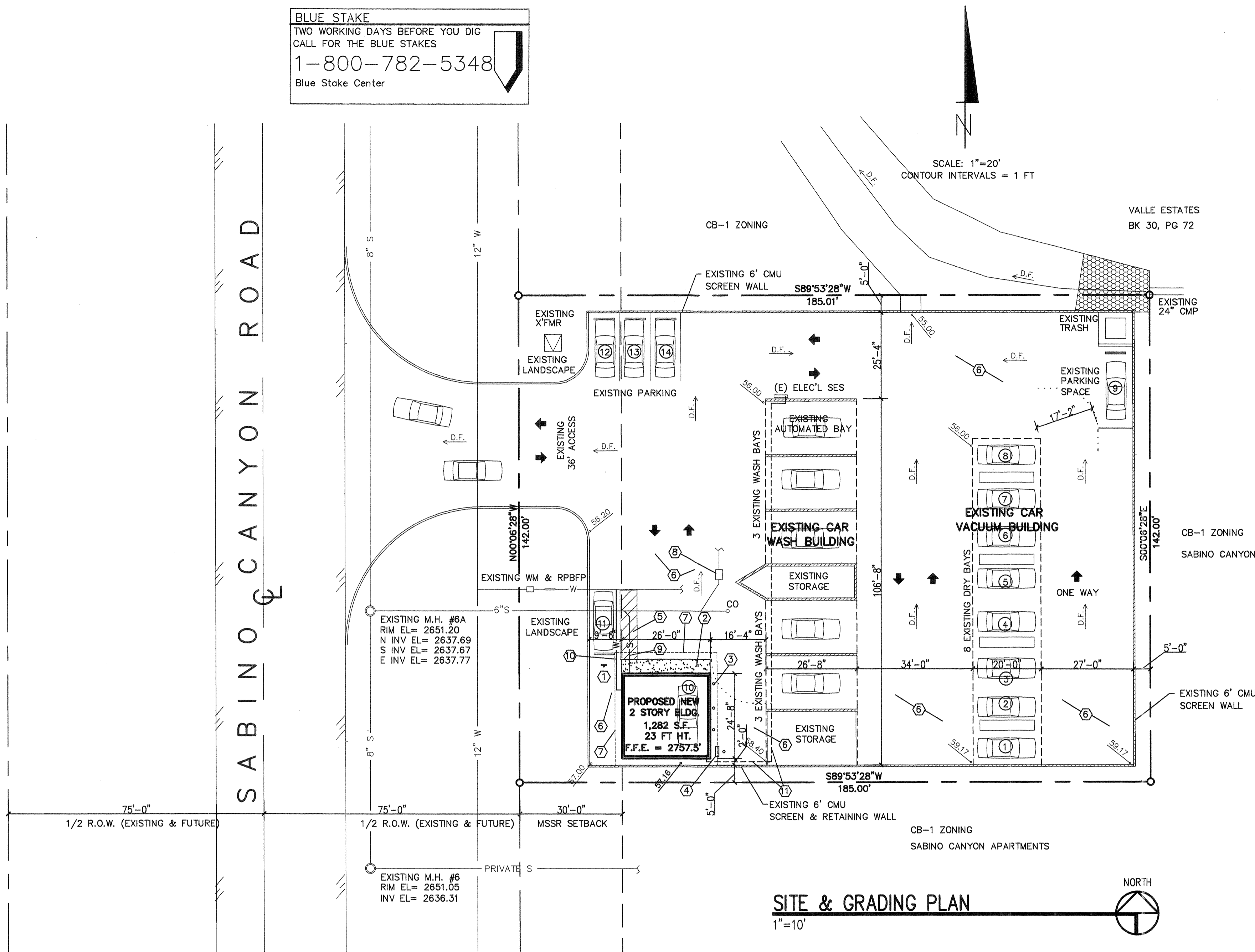


BLUE STAKE
TWO WORKING DAYS BEFORE YOU DIG
CALL FOR THE BLUE STAKES
1-800-782-5348
Blue Stake Center



SITE & GRADING PLAN KEYNOTES

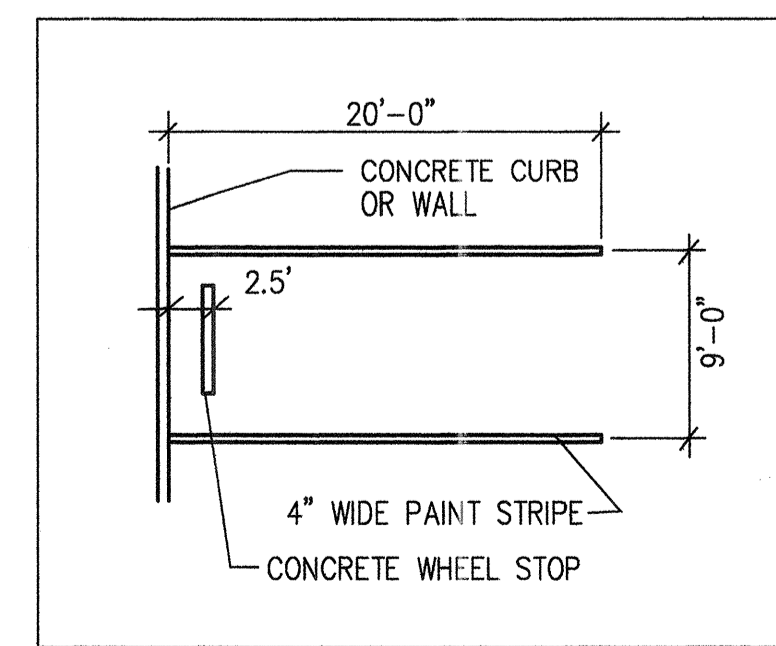
- NEW H.C. PARKING SPACE SIGN PER DETAIL 2/C.1.
- NEW 4" THICK, 3000 PSI CONCRETE SIDEWALK FLUSH WITH ASPHALT, SLOPE AWAY FROM BUILDING AT 1/4" PER FOOT, 3/8" EXPOSED AGGREGATE FINISH, COORD. FINAL FINISH WITH OWNER.
- NEW 4" DIA. STEEL PIPE BOLLARD FILLED WITH CONCRETE, 30" ABOVE GRADE, 30" EMBED IN 12"x36" DEEP CONCRETE FOOTING, TYP. OF 4
- NEW GROUND MOUNTED REMOTE A/C CONDENSING UNIT.
- NEW 5' WIDE X 20' LONG PAINTED H.C. ACCESS LANE AND PAINTED H.C. SIGN IN SPACE.
- EXISTING ASPHALT PAVING TO REMAIN.
- CUT AND REMOVE EXISTING ASPHALT PAVING IN AREA OF NEW BUILDING, REMOVE AND RECOMPACT MINIMUM OF 12" SUBGRADE TO 95% COMPACTION AND PROVIDE COMPACTION TESTS, AREA SHOWN WITH DASHED LINE. BLEND NEW ASPHALT AT PERIMETER OF BUILDING TO MATCH NEW GRADES AT DOORS AND FLUSH WITH SIDEWALK.
- EXISTING OIL, GAS AND SAND SEPARATOR.
- NEW 4" SEWER CONNECT TO EXISTING FIELD VERIFY LOCATION.
- NEW 1 1/2" WATER LINE CONNECT TO EXISTING, FIELD VERIFY LOCATION.
- NEW ELECTRICAL FEEDER FROM EXISTING SES TO NEW SUB PANEL, OVERHEAD IN EXISTING CAR WASH BUILDING AND THEN UNDERGROUND TO NEW BUILDING.

SURVEY NOTE

THE BOUNDARY, LEGAL DESCRIPTION, TOPOGRAPHY, ETC. SHOWN HEREIN IS SHOWN BASED ON INFORMATION FROM THE APPROVED DEVELOPMENT PLAN BY COLLINS PINA, P1299-121 DATED SEP., 17, 1999.

LEGAL DESCRIPTION:

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 16, T13S, R15E, G&SRM, IN PIMA COUNTY, ARIZONA, HIDDEN VALLEY N 142' S 622.74' M/L W 185' LOT A



PAVING & GRADING NOTES

- ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PC/COT SSP) 2003 EDITION.
- AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT SSP #303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSP #406, MIX NO. 2 (SUBDIVISION MIX 4.0% VOIDS)
- ALL CONCRETE SHALL COMPLY WITH PC/COT SSP SECTION 1006, CLASS S, 3,000-PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- ALL CONCRETE SHALL WITH GRADING STANDARDS, CHAPTER 18.81 OF PIMA COUNTY ZONING CODE.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY DEVELOPMENT SERVICES PRIOR TO CONSTRUCTION.
- A COPY OF APPROVED PLANS SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
- A REGISTERED ENGINEER OR ARCHITECT MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO A REQUEST FOR FINAL INSPECTION, CERTIFICATION OF OCCUPANCY, RELEASE OF ASSURANCES OR MODULAR PERMITS.
- NATIVE PLANTS MUST BE FLAGGED AND PROTECTIVE FENCING MUST BE INSTALLED AS REQUIRED BY THE NATIVE PLANT PRESERVATION PLANT PRIOR TO ANY GRADING ACTIVITY.
- ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER AND NO HIGHER THAN 5 FEET.

PERMITTING NOTES

- THE PROPOSED DEVELOPMENT WILL CONNECT TO EXISTING PUBLIC SANITARY SEWER SYSTEM.
- EXISTING ZONING IS CB-1.
- THE USE OF THE PROPERTY IS CAR WASH AND OFFICE.
- AREAS AND SPACES DESIGNATED FOR REQUIRED PARKING SHALL NOT BE CONVERTED TO OTHER USES UNLESS IT CAN BE DEMONSTRATED THAT SUFFICIENT ON SITE PARKING EXISTS.
- MATERIALS WITHIN SIGHT VISIBILITY TRIANGLES SHALL BE PLACED SO AS NOT TO INTERFERE WITH A VISIBILITY PLANE DESCRIBED BY TWO HORIZONTAL LINES LOCATED 30 INCHES AND 72 INCHES ABOVE FINISHED GRADE OF THE ROADWAY SURFACE.
- PRIOR TO THE REQUEST FOR FINAL INSPECTION, A LETTER CERTIFYING COMPLETION IN CONFORMANCE WITH THE APPROVED PLANS, SEALED BY A REGISTERED PROFESSIONAL ENGINEER (OR ARCHITECT) MUST BE SUBMITTED TO THE DEVELOPMENT REVIEW DIVISION.

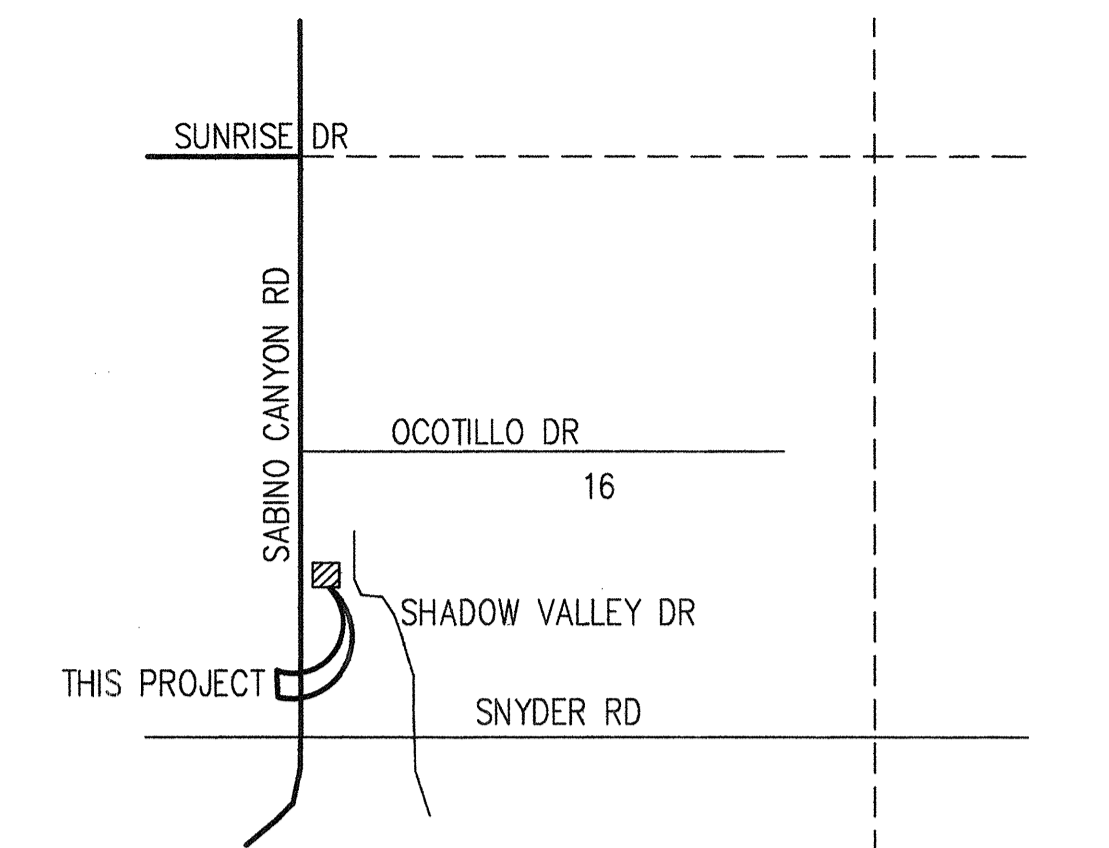
PIMA COUNTY DISCLAIMER

PIMA COUNTY DOES NOT INDEPENDENTLY VERIFY THE LOCATION OF UNDERGROUND FACILITIES OR PRIVATE EASEMENTS. INFORMATION ON THE LOCATION OF ANY UNDERGROUND FACILITY, UTILITY OR PRIVATE EASEMENT THAT EXISTS ON THE PROPERTY FOR WHICH THIS PERMIT IS ISSUED OR FOR WHICH A PROJECT APPROVAL IS GRANTED IS BASED ON INFORMATION PROVIDED SOLELY BY THE APPLICANT. STATE STATUTE (ARS 40-360.22) REQUIRES THAT UNDERGROUND UTILITIES BE LOCATED PRIOR TO EXCAVATION ACTIVITIES. INFORMATION ON THE POTENTIAL PRESENCE OF UNDERGROUND UTILITIES IS AVAILABLE BY CONTACTING ARIZONA BLUE STAKE WHICH IS THE STATE'S DESIGNATED ONE-CALL NOTIFICATION CENTER FOR UNDERGROUND UTILITY LOCATION.

ALL EXISTING/PROPOSED OVERHEAD OR UNDERGROUND PUBLIC OR PRIVATE EASEMENTS ARE THE SOLE RESPONSIBILITY OF THE OWNER/DEVELOPER AT NOT EXPENSE TO PIMA COUNTY.



- NOTES:
1. SIGN SHALL BE MOUNTED ON A 2" SQ. GALV. STEEL POST INTO A 2 1/2"x12" STEEL PIPE SLEEVE INTO A 12" DIA. x 2'-0" DEEP CONC. FTG.
2. SIGN SHALL MEET ALL LOCAL & STATE, & FEDERAL REQUIREMENTS.



PARKING REQUIREMENTS

| | |
|---|--|
| 5 WASH BAYS AT 2 SPACES PER WASH BAY: | = 10 SPACES |
| OFFICE AREA AT 1 SPACE PER 400 S.F./ 641 S.F. | = 1 SPACE |
| 2 EMPLOYEES AT 1 SPACE PER 2 EMPLOYEES: | = 1 SPACE |
| H.C. PARKING 1 REQUIRED, 1 PROVIDED | REQUIRED: = 12 SPACES PROVIDED: = 14 SPACES |
| LOADING ZONE: | NOT REQUIRED, NOT PROVIDED |

GENERAL NOTES

- ASSESSOR'S PARCEL NUMBER IS 114-11-003E.
- THE WATER COMPANY THAT WILL SERVE THIS DEVELOPMENT IS TUCSON WATER COMPANY.
- THIS SET OF IMPROVEMENT PLANS SHALL SERVE AS THE TYPE 2 GRADING PERMIT FOR THIS PROJECT AND SHALL BE VALID FOR ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF SAID PLANS.
- ANY RELOCATION, MODIFICATION, ETC., OF THE EXISTING UTILITIES AND/OR PUBLIC IMPROVEMENTS REQUIRED BY THIS DEVELOPMENT WILL BE AT NO EXPENSE TO THE PUBLIC.
- GROSS AREA OF THIS SITE IS 26,270.70 SF, (0.6 ACRES).
- THIS PROJECT HAS 7 PROPOSED ADDITIONAL NEW WW FIXTURE UNIT EQUIVALENTS PER TABLE 13.20.040(F)(1) IN PC CODE 13.20.040(F)
- ANY WASTEWATER DISCHARGED INTO THE PUBLIC SANITARY SEWERAGE SYSTEM SHALL MEET THE REQUIREMENTS OF THE INDUSTRIAL WASTE ORDINANCE NO. 1991-140.
- THE ON-SITE SEWERS ARE EXISTING AND PRIVATE, NO NEW SEWERS ARE PROPOSED.

PROJECT DIRECTORY

| | |
|-------------------|---|
| OWNER: | VENTANA CANYON CAR WASH |
| LANCE JONES | 4888 N. SABINO CANYON RD. TUCSON, ARIZONA 85750 PHONE: (520) 358-2121 |
| ARCHITECT: | KBP ARCHITECTURE, LLC |
| KEVIN PETRICK | 11635 E. TANQUE VERDE RD. TUCSON, ARIZONA 85749 PHONE: (520) 749-2340 FAX: (520) 760-6640 E-MAIL: kbp@kbparch.com |

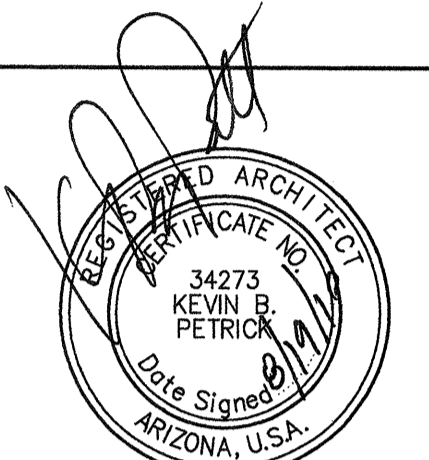


kbp architecture

design ■ planning ■ construction mgmt

11635 E. Tanque Verde Rd.
Tucson, Arizona 85749
Tel 520.749.2340 Fax 520.760.6640
email: kbp@kbparch.com

Kevin B. Petrick, Architect



EXPIRES 12-31-11
Copyright © 2010 KBP Architecture LLC

Project:

New two story office & garage building

for
Ventana Canyon Car Wash

4888 N. Sabino Canyon Rd.
Tucson, Arizona

These drawings are project specific and have been developed for the client's use for this project; they may not be reused or duplicated for any other property/project without the written consent of the Architect.

drawing revisions:

kbp project no: **2328**

date: **AUGUST 19, 2010**

sheet title: **SITE & GRADING PLAN**

sheet number: **C.1**

RESERVED FOR GOVERNMENT APPROVAL STAMPS