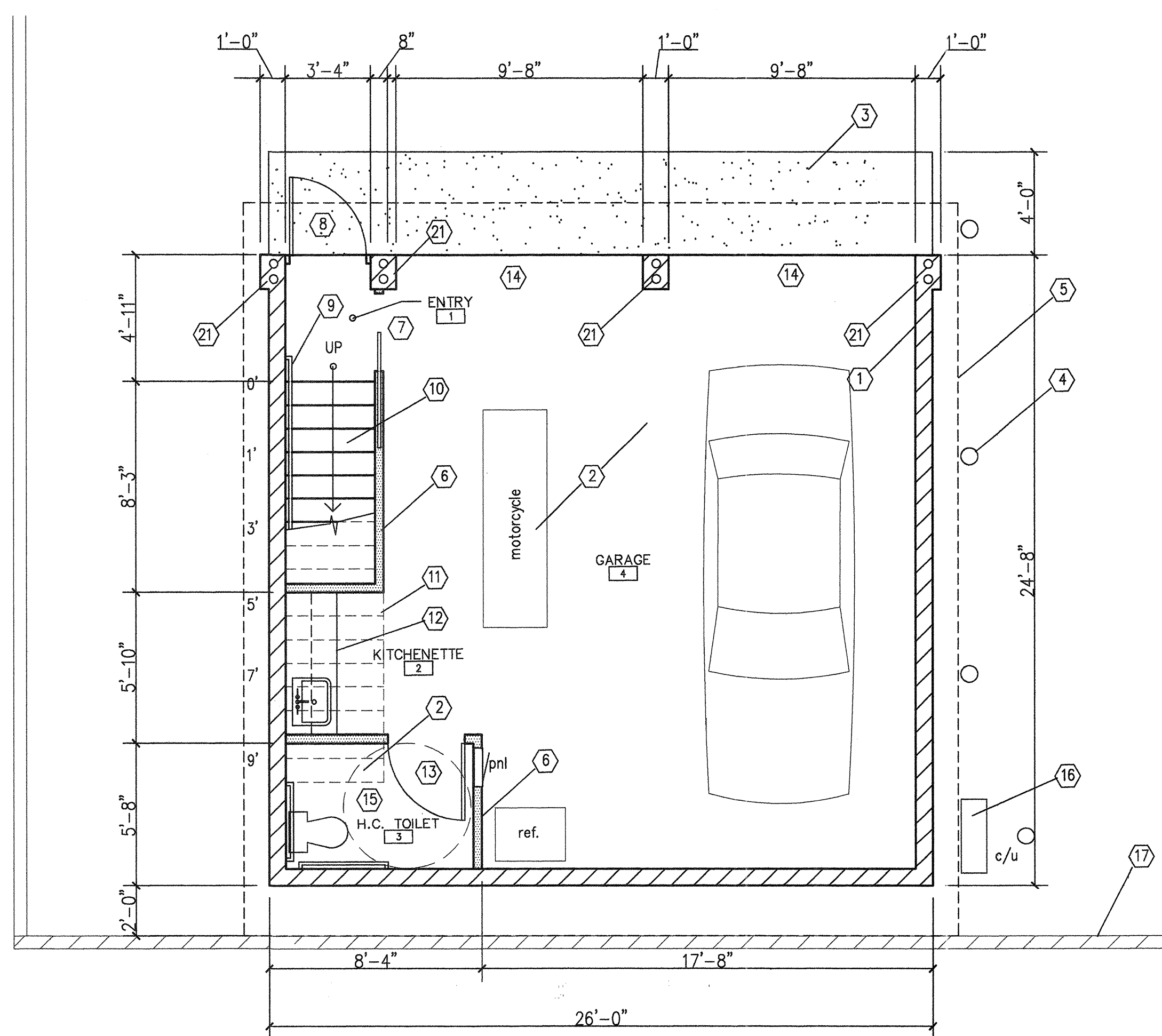


2ND FLOOR PLAN

1/4"=1'-0"



1ST FLOOR PLAN

1/4"=1'-0"



FLOOR PLAN KEYNOTES

1. CMU WALL, SMOOTH INTERIOR, SPLIT FACE EXTERIOR, COORDINATE COLOR AND FINISH WITH OWNER.
2. EXPOSED CONCRETE FLOOR, COORD. FINISH WITH OWNER AND REFER TO FOUNDATION PLAN.
3. EXPOSED CONCRETE APPROACH APRON, COORD. FINISH WITH OWNER AND REFER TO FOUNDATION PLAN.
4. STEEL PIPE BOLLARDS, REFER TO SITE PLAN.
5. DASHED LINE INDICATES ROOF OVERHANG ABOVE.
6. NON-BEARING PARTITION WITH 5/8" G.W.B. OVER 2X4 WOOD STUDS @ 24" O.C. OR 3 5/8" METAL STUDS @ 24" O.C., OWNERS OPTION, TAPE, TEXTURE AND PAINT, COORD. WITH OWNER.
7. 3'-0"x6'-8" S.C. STAIN GRADE WOOD POCKET DOOR WITH HEAVY DUTY OVERHEAD TRACK AND ROLLER ASSEMBLY, FRAME AND HARDWARE FOR COMPLETE INSTALLATION, COORD. LATCH STYLE AND FINISH WITH OWNER.
8. 3'-0"x6'-8" METAL DOOR IN METAL FRAME, WITH 1" INSULATED GLASS TRANSOM ABOVE PER EXTERIOR ELEVATION, 1 1/2" PAIR BUTTS, 1/2" THRESHOLD, WEATHERSTIPING, OVERHEAD CLOSER, LEVER STYLE COMMERCIAL GRADE ENTRANCE KEYLOCK HARDWARE.
9. WOOD HANDRAIL CONTINUOUS UP TO 2ND FLOOR.
10. WOOD STAIRS PER FRAMING PLAN AND DETAIL 3/A.3 & 4/A.3, FINISH (RUBBER, WOOD, CARPET) SELECTED BY OWNER.
11. LINE OF STAIRS ABOVE, SEE R.C.P.
12. BASE CABINET, COUNTER, SINK AND UPPER CABINETS LAYOUT, STYLE, FINISH PER OWNER.
13. 3'-0"x6'-8" S.C. STAIN GRADE WOOD DOOR & FRAME, 1 1/2" PAIR BUTTS, OVERHEAD CLOSER, LEVER STYLE COMMERCIAL GRADE PRIVACY HARDWARE.
14. INSULATED METAL GARAGE DOOR AND OVERHEAD AUTO CLOSER SELECTED BY OWNER.
15. H.C. RESTROOM, REFER TO DETAIL 1/A.3 FOR ADDITIONAL INFORMATION.
16. GROUND MOUNTED A/C CONDENSING UNIT.
17. EXISTING MASONRY SCREEN WALL.
18. ANODIZED ALUMINUM STOREFRONT WINDOW 24'-8"x7'-0", 1" INSULATED, LOW E, (U VALUE 0.65 OR BETTER) COORD. WITH OWNER FOR COLOR. FIELD MEASURE AND VERIFY OPENING SIZE.
19. FLOOR FINISH AS SELECTED BY OWNER, OVER PLYWOOD FLOOR SHEATHING PER STRUCTURAL.
20. LOW WALL 44" HIGH WITH 5/8" G.W.B. EACH SIDE OF 2X4 WOOD STUDS @ 24" O.C. (OR 3 5/8" 20GA METAL STUDS @ 24" O.C.) G.W.B. WRAPPED TOP OR OPTION PER OWNER TO PROVIDE STAINED WOOD CAP.
21. 12"x16" CMU COLUMN WITH 2-3 1/2" DIA. STEEL COLUMNS INSIDE CMU GROUTED SOLID, FULL HEIGHT OF MASONRY, REFER TO STRUCTURAL PLANS AND DETAILS.

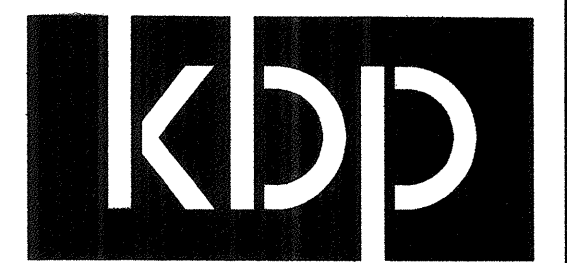
GENERAL NOTES:

1. PROVIDE TERMITE PRE-TREATMENT UNDER ALL NEW CONCRETE FOOTINGS AND SLABS.
2. COORDINATE ALL FINISHES WITH OWNER, INCLUDING BUT NOT LIMITED TO FLOOR COVERINGS, BASE, DRYWALL TEXTURE, DOOR HARDWARE (SHALL BE LEVER STYLE FOR ADA) CABINETS, COUNTER TOPS, PAINT, WINDOWS, DOORS.
3. PROVIDE ADA APPROVED SIGNAGE FOR RESTROOMS PER DETAIL 6/A.3.

EXIT 1 THIS APPLIES ONLY TO MAIN ENTRANCE DOOR

1. PROVIDE SIGN OVER MAIN ENTRY DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED"

NOTES:
1. THIS BUILDING IS "NOT" EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.

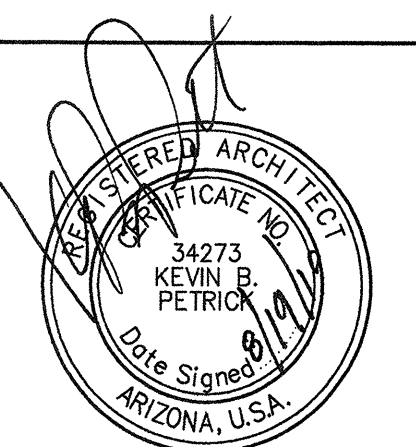


kbp architecture

design ■ planning ■ construction mgmt

11635 E. Tanque Verde Rd.
Tucson, Arizona 85749
Tel 520.749.2340 Fax 520.760.6640
email: kbp@cox.net

Kevin B. Petrick, Architect



EXPIRES 12-31-11
Copyright © 2010 KBP Architecture LLC

Project:

New two story office & garage building

for
Ventana Canyon
Car Wash

4888 N. Sabino Canyon Rd.
Tucson, Arizona

These drawings are project specific and have been developed for the client's use for this project; they may not be reused or duplicated for any other property/project without the written consent of the Architect.

drawing revisions:

kbp project no: **2328**

date: **AUGUST 19, 2010**

sheet title: **1ST & 2ND FLOOR PLANS**

sheet number: **A.1**

RESERVED FOR GOVERNMENT APPROVAL STAMPS